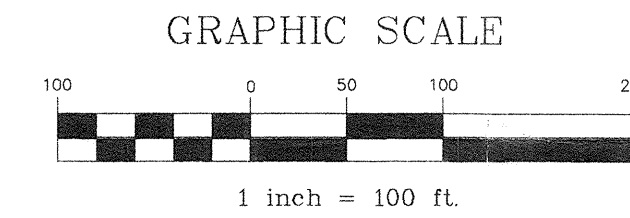
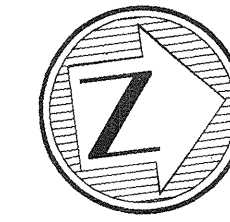


LOCATION MAP



PLAN HAS BEEN ACCEPTED BY  
COSA *[Signature]*  
Oct 17, 1997 583  
(date) (number)  
If no plats are filed, plan will  
expire on April 18, 1999  
1st plat filed on \_\_\_\_\_

P.O.A.D.P. PLAN  
for  
INTERCHANGE PARK



RECEIVED  
97 AUG 28 10:30 AM '97  
CITY OF PHOENIX  
PLANNING  
AND DEVELOPMENT  
DIVISION

UTILITIES  
WATER: SAN ANTONIO WATER SYSTEM  
SEWER: SAN ANTONIO WATER SYSTEM  
ELECTRIC: CITY PUBLIC SERVICE  
TELEPHONE: S.W. BELL TELEPHONE CO.

↔ DENOTES ANTICIPATED DRIVES. NUMBER  
AND LOCATION OF DRIVES TO BE DETERMINED  
WITH FINAL DEVELOPMENT PLANS. ALL  
DEVELOPMENTS WITHIN PROPERTY WILL  
SHARE INTERNAL CIRCULATION WITH  
ACCESS TO ALL DRIVES.

DEVELOPER:  
STERLING PACIFIC MANAGEMENT SERVICES  
6001 N. 24th STREET, SUITE A  
PHOENIX, ARIZONA 85016  
(602) 468-1090

# 583

W.F. CASTIELLA & ASSOCIATES, INC.  
Engineers - Surveyors - Planners  
1039 W. Hildebrand - San Antonio, Texas 78201 - (210) 734-5351

REVISIONS:

JOB NO. 46429.00  
FILE: ~  
DATE: 08/27/97  
DESIGN: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
SHEET 1 OF 1



# CITY OF SAN ANTONIO

October 17, 1997

Steven E. Hanan  
W. F. Castella & Assoc.  
1039 W. Hildebrand  
San Antonio, TX 78201

Re: Interchange Park

POADP # 583

Dear Mr. Hanan:

The City Staff Development Review Committee has reviewed Interchange Park Subdivision Preliminary Overall Area Development Plan # 583. Please find enclosed a signed copy for your files. Although your plan was accepted, please note the following:

- Access and R.O.W. issues along State facilities will need to be resolved with the Texas Department of Transportation (TXDOT). For additional information about these requirements you can contact TXDOT at 615-5814.
- Based on the topography, a Flood Plain Study and drainage review will probably be required during the platting process.
- This development will need to comply with tree preservation ordinance #85262. For additional information about these requirements you can contact Building Inspections at 207-7102.

Please note that this action by the committee does not establish any commitment for the provision of utilities, services or zoning of any type now or in the future by the City of San Antonio. If the proposed development is not platted in phases this POADP will be invalid. Platting will have to comply with the UDC.

If you have any questions or comments regarding this matter, please contact Ms. Elizabeth Carol, at (210) 207-7900.

Sincerely,

A handwritten signature in cursive script, appearing to read "Emil R. Monciyais".

Emil R. Monciyais AIA, AICP  
Director of Planning

EM/EAC

cc: Andrew J. Ballard, P. E., Acting City Engineer



**CITY OF SAN ANTONIO  
POADP APPLICATION**

The platting of property in two or more subdivision units requires the submission of a Preliminary Overall Development Plan, POADP. To be accepted for review a POADP shall comply with the provisions of ARTICLE II, Division 2 Preliminary Overall Development Plans of the San Antonio Unified Development Code and must be certified to contain the following:

Date Submitted: 8/08/97 Name of POADP: Interchange Park  
Owners: SPMS Consulting Firm: W.F. Castella and Associates, Inc.  
Address: 6001 N. 24th St. Ste. A Address: 1039 W. Hildebrand  
601-468-1090 San Antonio, Texas 78201  
Phone: 602-468-1090 Phone: (210) 734-5351  
Existing zoning: I-1, B-3 Proposed zoning: I-1, B-3  
Texas State Plane Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_

Site is over/within/includes: San Antonio City Limits? ☒ Yes ☐ No  
Edwards Aquifer Recharge Zone: ☐ Yes ☒ No  
Projected # of Phases: ± 6 ☒ Yes ☐ No

Land area being platted:	Lots	Acres
Single Family (SF)	_____	_____
Multi-family (MF)	_____	_____
Commercial and non-residential	<u>± 8</u>	<u>30.9</u>

Is there a previous POADP for this Site? Name - NO No. \_\_\_\_\_

Is there a corresponding PUD for this site? Name - NO No. \_\_\_\_\_

Plats associated with this POADP or site? Name NO No. \_\_\_\_\_

Name \_\_\_\_\_ No. \_\_\_\_\_

Name \_\_\_\_\_ No. \_\_\_\_\_

Contact Person and authorized representative:

Print Name: Steven E. Hanan

Signature: Steven E. Hanan

Date: 8/27/97

Phone: (210) 734-5351

Fax: (210) 734-5363

DEPT. OF PLANNING  
LAND DEVELOPMENT  
SERVICES DIVISION

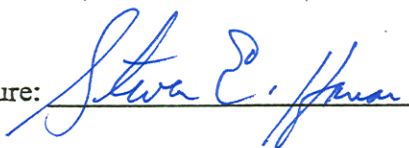
97 AUG 28 PM 3:20

- ✓ name of the POADP and the subdivision;
- ✓ indication of development phases on the POADP; Unknown at this time
- ✓ perimeter property lines of the POADP (in a line weight and character distinguishable from other lines);
- ✓ north arrow and scale of the map;
- ✓ proposed land use by location, type and acreage;
- ✓ delineation of the circulation system including all collectors, arterial, and local type "B" streets;
- ✓ contour lines at intervals no greater than ten (10) feet;
- ✓ legal recorded ownership of adjacent properties and if known proposed development of adjacent unimproved properties;
- ✓ existing adjacent or perimeter streets;
- ✓ one hundred year flood plain limits;
- ✓ location map indicating location and distance of the POADP to adjacent streets and at least two (2) major thoroughfares.
- ✓ a complete application and certification with six copies of the POADP map, all maps to be folded (accordion style & manageable size);
- ✓ POADP amendments or revisions must be graphically indicated and include a concise statement describing said amendment or revision on the POADP map;
- ✓ TIA requirements must be met prior to acceptance of a POADP, contact Amer Galani @ (210)207-2076;
- ✓ the POADP ☒ does ☐ does not abut State Highway Department facilities and one additional copy of the POADP plan has been submitted directly to TXDOT for their review. Contact Judy Friesenhahn @ (210) 615-5814;
- ✓ The POADP ☐ is ☒ is not located over the Edwards Aquifer recharge zone and one additional copy of the POADP has been submitted directly to the Aquifer Studies office of San Antonio Water Systems, contact Kirk Nixon (210) 704-7392;

I certify that the POADP application and accompanying maps are complete and that the conditions listed on this application have been met.

Certifying Representative:

Print Name: Steven E. Hanan

Signature: 

If you have any questions please call Elizabeth Carol at 207-7900







# Texas Department of Transportation

P.O. BOX 29928 • SAN ANTONIO, TEXAS 78284-3601 • (210) 615-1110

September 3, 1997

## P.O.A.D.P REVIEW

Interchange Park

Located on US 81(Austin Highway) at Fratt Road

P.O.A.D.P. Reviewed for:

Comments

Noise Mitigation

For residential development directly adjacent to State ROW, the developer shall be responsible for adequate set-back and/or sound abatement.

R.O.W. Requirements

50' ROW flares will be required at the intersection of Fratt Road and US 81(Austin Highway). A 50' ROW flare will be required at the intersection of Interchange Parkway and IH 410.

Access Limits/Restrictions

The 16.654 acre tract is eligible for a maximum combined total of three(3) access points, and the 8.441 acre tract is eligible for a maximum combined total of two(2) access points. All access numbers are based on the overall combined US 81 frontage. Locations of access points will be as directed by "Regulations For Access Driveways to State Highways".

WPAP Requirements

None.

Permit applications along with plans for street, driveway, utility, sidewalk and drainage construction must be submitted to the Texas Department of Transportation for review and approval before working on highway ROW. TxDOT requires that a recorded plat accompany all driveway permit applications. The Owner/Developer is responsible for preventing any adverse impact to the existing drainage system within highway ROW.

### ADDITIONAL COMMENTS:

Judy Friesenhahn, P.E.  
Advanced Project  
Development Engineer